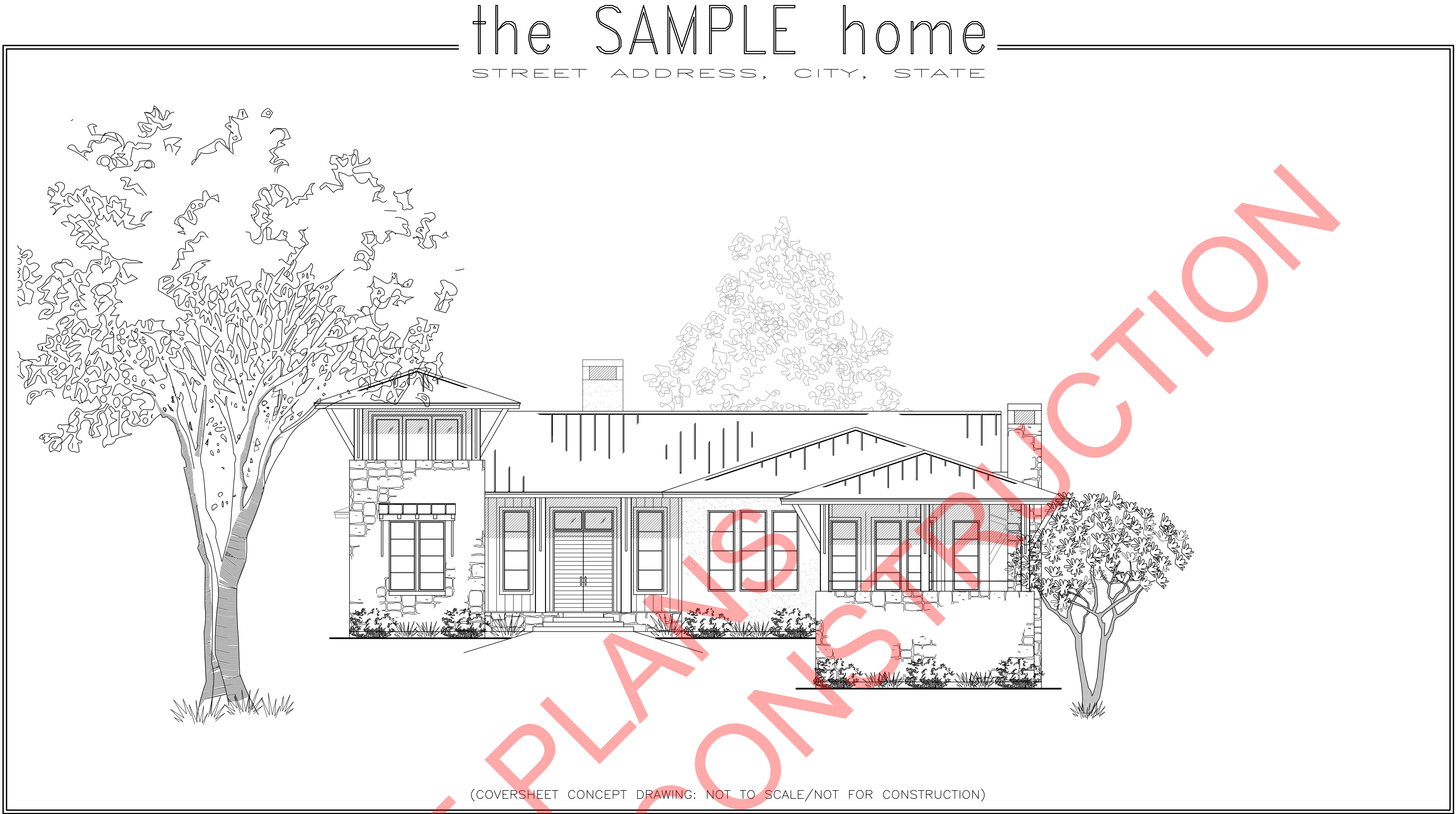


GENERAL NOTES		
DISCREPANCY DISCLAIMER: IF ANY DISCREPANCIES ARE FOUND IN THESE DOCUMENTS, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) AND/OR OWNER TO CAUSE THIS DESIGN FIRM TO EXPLORE THE SITUATION AND CLARIFY THE DIFFERENCE. PLEASE DO NOT ASSUME EITHER IS CORRECT IF SUCH DISCREPANCY IS FOUND.		
CODE COMPLIANCE: (1) GLAZING: THE CONTRACTOR SHALL CAUSE THE GLAZING IN ALL DOORS AND DOOR UNITS TO BE TEMPERED IN ACCORDANCE WITH THE LATEST IRC (INTERNATIONAL RESIDENTIAL CODE). FURTHER, ALL GLASS IN SHOWER AND/OR TUB AND WET AREAS SHALL BE TEMPERED GLASS, EXCEPT, PERHAPS, WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS AT LEAST 60 INCHES ABOVE FINISHED FLOOR. NOTE: LOCAL CODE SHALL TAKE PRECEDENCE TO THE IRC. (2) THE GLAZING OF THE WINDOWS AND/OR EXTERIOR DOORS SHALL COMPLY WITH THE IECC (INTERNATIONAL ENERGY CONSERVATION CODE). ALL OTHER ITEMS SUCH AS AIR-CONDITIONING, LIGHTING, MOISTURE PENETRATION AND OTHER ITEMS COMPOSING THE ENVELOPE SHALL ALSO WORK TOGETHER TO COMPLY WITH THE IECC. (3) THE MOST CURRENT MATERIALS AND METHODS OF CONSTRUCTION SHALL BE UTILIZED TO PREVENT MOLD DEVELOPMENT. (4) SEE LIGHTING AND ELECTRICAL PLAN CONCERNING CODE COMPLIANCE. (5) THE CONSTRUCTION SHALL COMPLY IN EVERY WAY TO THE LOCAL BUILDING CODE. IF NO CODE APPLIES, THEN THE INTERNATIONAL RESIDENTIAL CODE SHALL BE ADHERED TO. SEE PLANS FOR SPECIAL NOTES. (6) THE WINDOW SIZES FOR FIRE EXIT PURPOSES SHALL COMPLY WITH THE APPLICABLE BUILDING CODE. IF THE WINDOW SIZING STATED HEREIN DOES NOT SATISFY THE LOCAL APPLICABLE CODE, THE CODE SHALL TAKE PRECEDENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING THE APPLICABLE CODE. NO CODE APPLIES. THEN THE INTERNATIONAL RESIDENTIAL CODE SHALL BE ADHERED TO. (7) HANDRAILS AND GUARDRAILS (STAIRS AND BALCONIES) MAY NOT BE DRAWN TO SCALE. HOWEVER, THEY SHALL COMPLY TO CODE IN EVERY WAY (HEIGHT, SPACING, ETC.)		
GENERAL STRUCTURAL DISCLAIMER: THE DESIGNER IS A PROFESSIONAL BUILDING DESIGN FIRM. IT IS NOT AN ENGINEERING FIRM. THIS DESIGN FIRM IS NOT LICENSED TO DESIGN STRUCTURAL FRAMING OR FOUNDATIONS. A LICENSED ENGINEER SHOULD BE CONSULTED REGARDING THE FRAMING AND/OR THE FOUNDATION. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR RESPONSIBILITY FOR THE STRUCTURAL DESIGN. THIS DESIGN FIRM WILL NOT BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY AND/OR ANY PROBLEMS WHICH MAY ARISE.		
FRAMING NOTES: (1) MINIMUM FRAMING REQUIREMENTS: MEMBER SPACING, SIZES, AND SPANS SHALL COMPLY WITH THE LATEST INTERNATIONAL RESIDENTIAL CODE. (2) SPECIAL BLOCKING FOR ALL GRAB BAR LOCATIONS. SEE PLANS AND CONSULT OWNER. (3) IF THE STRUCTURE IS TO RECEIVE A "HEAVY" ROOF FINISH MATERIAL, THE PERIMETER WALLS, ROOF RAFTERS, AND SPACING SHALL BE ENGINEERED. (4) IF A PERIMETER WALL IS OVER 10'-0" IN HEIGHT AND 16'-0" IN WIDTH, THE CONTRACTOR SHALL HAVE WALL SYSTEM ENGINEERED FOR WIND LOAD. (5) ALL DOOR POSITIONING TO BE ASSUMED 4 INCHES OR 5 INCHES (DEPENDENT UPON TRIM SELECTION) OFF HINGE-SIDE WALL UNLESS OTHERWISE NOTED OR TO BE CENTERED IF SPACE DOES NOT ALLOW 4 INCHES OR 5 INCHES ON EACH SIDE. (6) GRAB BAR BLOCKING: SEE NOTE.		
DIMENSION NOTES: ALL WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE, FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. AND THIS DESIGN FIRM MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ALL ANGLES ARE CONSIDERED TO BE 45° UNLESS OTHERWISE STATED. THE SIZES OF WINDOWS AND DOORS PRESENTED IN THESE DRAWINGS ARE NOMINAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTUAL DIMENSIONS PURSUANT TO SPECIFIC MANUFACTURER'S SIZES.		
PLUMBING NOTES: FLOOR DRAINS SHALL BE EQUIPPED WITH TRAP PRIMERS OR DRAINED TO OUTSIDE. NOT IN SEWER SYSTEM. CONSULT OWNER AS TO WHICH. HVAC NOTES: UNLESS THE ATTIC RAFTER BAYS ARE INSULATED, THE CONTRACTOR SHALL PROVIDE CONTINUOUS ROOF RIDGE VENTS AND CONTINUOUS SOFFIT VENTS. EACH FRAMING BAY SHALL RECEIVE BAFFLES TO DEVELOP AIR FLOW AROUND INSULATION. AIR RETURNS AND/OR SUPPLY CHASES PROVIDED IN THESE PLANS SHALL BE VERIFIED BY THE AIR CONDITIONING CONTRACTOR. IF RETURN AIR VENTS ARE THROUGH THE CEILING, THE FILTER SHALL BE PLACED IN THE ATTIC WITH EASY ACCESS FOR CHANGING. PLACEMENT OF THERMOSTAT CONTROL: 48" (MAXIMUM) ABOVE FINISH FLOOR (CENTER).		
MASONRY NOTES: WEEP HOLES SHALL BE PROVIDED PER INDUSTRY STANDARD. ALL CRITERIA TO BE PER CODE OR IF NO CODE EXIST, THEN THE INTERNATIONAL RESIDENTIAL CODE SHALL BE ADHERED TO.		
ELECTRICAL NOTES: SEE "SPECIAL ELECTRICAL/LIGHTING NOTES" ON LIGHTING AND ELECTRICAL PLANS.		

FLOOR FINISH SCHEDULE		
ROOM DESIGNATION	MATERIAL	NOTES
EXTERIOR		
ENTRY PORCH	EXPOSED CONCRETE	(TBV)
REAR PORCH	EXPOSED CONCRETE	(TBV)
LOGGIA	EXPOSED CONCRETE	(TBV)
BALCONY	EXPOSED CONCRETE	(TBV)
INTERIOR-ENTRY LEVEL		
LIVING AREA	TILE	(TBV)
DINING ROOM	TILE	(TBV)
KITCHEN	TILE	(TBV)
PANTRY	TILE	(TBV)
MASTER ALCOVE	TILE	(TBV)
MASTER BEDROOM	TILE	(TBV)
MASTER BATH	TILE	(TBV)
MASTER WC	TILE	(TBV)
HIS WIC	TILE	(TBV)
HER WIC	TILE	(TBV)
UTILITY	TILE	(TBV)
BROOM CLOSET	TILE	(TBV)
ALCOVE-2	TILE	(TBV)
BEDROOM-2	TILE	(TBV)
HALL	TILE	(TBV)
BEDROOM-2 SIC	TILE	(TBV)
BATH-2	TILE	(TBV)
ALCOVE-3	TILE	(TBV)
BEDROOM-3	TILE	(TBV)
BEDROOM-3 SIC	TILE	(TBV)
BATH-3	TILE	(TBV)
GARAGE & GOLF CART	EXPOSED CONCRETE	(TBV)
INTERIOR-UPPER LEVEL		
BUNKROOM SIC	CARPET	(TBV)
BUNKROOM	CARPET	(TBV)
BATH-4	TILE	(TBV)
BATH-4 WC	TILE	(TBV)
ALL FLOOR FINISHES TO BE VERIFIED AND SUBJECT TO CHANGE.		



GRAB BAR BLOCKING	
MATERIAL: 2X6 MIN (WW OR YP)	
COMMODE CLOSET BLOCKING: HEIGHT: TOP=38" AFF. SPAN BEHIND COMMODE; MIN 16" EACH SIDE OF CENTER. SPAN EITHER (OR BOTH) SIDES OF COMMODE CLOSET; 60" FROM REAR WALL.	
SHOWER BLOCKING: HEIGHT: TOP=38" AFF. SPANS: SHOWERHEAD ON WALL LEFT OR RIGHT OF ENTRY; COMMENCE WITHIN 6" MAX OF ENTRY & CONTINUE TO THE INTERSECTING WALL. INTERSECTING WALL SHALL RECEIVE BLOCKING CONTINUOUSLY ALSO. SHOWERHEAD ON WALL OPPOSITE ENTRY: SAME AS ABOVE.	
TUB/SHOWER BLOCKING: UPPER BAR: HEIGHT: TOP=38" AFF. LOCATION: FULL WIDTH OF "HEAD," "BACK," & "FOOT" WALLS. LOWER BAR: HEIGHT: TOP=28" AFF. LOCATION: FULL WIDTH OF "BACK" WALL.	

FIREPLACE LEGEND			
ISOKERN WOOD/GAS	GAS ONLY FIREPLACE	TRADITIONAL MASONRY WOOD/GAS	ZERO CLEARANCE WOOD/GAS

LEGEND	
PLAN SYMBOLS:	
GAS VALVE (OR PROPANE)	TEMPERED GLAZING
WATER CONNECTION FOR ICE MAKER	SOLATUBE
WATER FAUCET (HOSE BIB)	SOLATUBE WITH LIGHT
TANKLESS WATER HEATER	POT FILLER
WATER HEATER	BUILT-IN IRONING BOARD
WATER SOFTENER	
ROOF PITCH	
10'-0" PL PLATE HEIGHT (ELEVATION)	WALL TYPES:
10'-0" CLG CEILING HEIGHT (ELEVATION)	2x4 FRAME WALL
0'-0" FL FLOOR LINE (ELEVATION)	2x6 FRAME WALL
XXX BUILDING SECTION	2x8 FRAME WALL
FOUNDATION SECTION DETAIL	5-1/2" MASONRY VENEER
WALL ELEVATION	CMU WALL (CONCRETE MASONRY UNIT)
	WALL W/SOUND INSULATION
	INSULATED CONCRETE FORM (ICF)

WINDOW STANDARDS	
	I.E. 3040 WINDOW 30 = WINDOW WIDTH 3'-0" 40 = WINDOW HEIGHT 4'-0"
GENERAL NOTE: IF HEADER HEIGHT IS NOT SHOWN ON PLANS, IT IS UNDERSTOOD THAT IT SHALL BE A NOMINAL 6'-8". HOWEVER, THE TOP OF THE TOP RAIL (NOT SASH) SHALL BE IN LINE WITH THE TOP OF THE 6'-8" (NOMINAL) DOOR HEAD JAMB UNLESS NOTED TO THE CONTRARY.	

FRENCH DOOR OPERATION STANDARDS	
	2-3068 FIX ACTIVE=OPERATIVE INACTIVE=OPERATIVE, BOLTED FIX=NON-OPERATIVE

CONTENTS	
PG#	SHEET DESCRIPTION
A1	COVER SHEET/DRAWING INFORMATION
A2	ENTRY LEVEL FLOOR PLAN
A2a	UPPER LEVEL FLOOR PLAN
A3	EXTERIOR ELEVATIONS/BUILDING SECTIONS
A3a	EXTERIOR ELEVATIONS
A4	ROOF PLAN
A5	ENTRY LEVEL/UPPER LEVEL LIGHTING & ELECTRICAL PLAN
A6	FOUNDATION FOOTPRINT W/PLUMBING LAYOUT
A7	SITE PLAN

ABBREVIATIONS	
DOOR:	
AD	ACTIVE DOOR
BF	BI-FOLD DOOR
BP	BYPASS DOOR
FAT	FULL ARCHED TOP
OHD	OVERHEAD DOOR
PKT	POCKET DOOR
SH	SIDE HINGE
WINDOW:	
AT	ARCHED TOP
AWN	AWNING
CASE	CASEMENT
DH	DOUBLE HUNG
FAT	FULL ARCHED TOP
FC	FRENCH CASEMENT
GB	GLASS BLOCK
HH	HEADER HEIGHT
HS	HORIZONTAL SLIDER
HOP	HOPPER
PV	PICTURE OVER HS
SH	SINGLE HUNG
SL	SLIDING LINE
TR/X	TRANSOM
TR/X	TRANSOM, MULLED
TT	TILT/TURN
VP	VENTING PICTURE
/X	MULLED UNITS
APPLIANCE:	
BC	BEVERAGE COOLER
CP	CIRCULATING PUMP
CO	COOKTOP
DW	DISHWASHER
FRZ	FREEZER
GE	GE MAKER
MW	MICROWAVE
O/R	OVEN/RANGE
REF	REFRIGERATOR
R/SHR	ROLL-IN SHOWER
TWH	TANKLESS WTR HTR
TRASH	TRASH PULL-OUT
WH	WATER HEATER
WS	WATER SOFTENER
WC	WINE COOLER
WD	WARMER DRAWER
MISCELLANEOUS:	
ABV	ABOVE
A/C	AIR CONDITIONING
ABV	ABV FINISH FLOOR
AFG	ABV FINISH GRADE
ALUM	ALUMINUM
BD	BOARD
BD/BAT	BOARD&BATTEN
BOB	BOTTOM OF BEAM
BOBH	BOTTOM OF BULKHEAD
BTWN	BETWEEN
CABINET(S)	CABINET(S)
C/O	CASED OPENING
CMT	BD CEMENT BOARD
CLOSE	CLOSE
CLG	CEILING
COL	COLUMN
CMU	CONCRETE
CNTR	COUNTER
DB	DRAWER BASE
DN	DOWN
DS	DOWN SPOUT
DIAG	DIAGONAL
DIA	DIAMETER
DIM	DIMENSION
DWG	DRAWING
ELEC	ELECTRICAL
ELEV	ELEVATION
ENGRD	ENGINEERED
EQ	EQUAL
FD	FLOOR DRAIN
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
GYP	GYPSPUM BOARD
HB	HOSE BIB
HT	HEIGHT
IB	IRONING BOARD
INS	INSIDE DIAMETER
IR	INFRARED
LT	LIGHT
MAX	MAXIMUM
MC	MEDICINE CABINET
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
NTS	NOT TO SCALE
OCT	OCTAGONAL
OD	OUTSIDE DIAMETER
OH	(ROOF) OVERHANG
OF	POT FILLER
PL	PLATE
RWD	POWDER (ROOM) RISER
R/A	RETURN AIR
R/O	REVERSE OSMOSIS
RAD	RADIUS
REC	RECYCLE BIN
RM	ROOM
R/S	ROD(S)/SHELF
SIC	STEP-IN CLOSET
SOFT	SQUARE FOOT
S/S	STAINLESS STEEL
TREAD	TREAD
TBD	TO BE DETERMINED
TBV	TO BE VERIFIED
TV	TELEVISION
TYP	TYPICAL
W/	WITH
W/C	WATER CLOSET
WD	WOOD
W/O	WITHOUT
WIC	WALK-IN CLOSET
W/O	W/O
IR	IS ONE ROD/ ONE SHELF
2R	IS TWO RODS/ ONE SHELF

AREA TOTALS	
ENTRY LEVEL	2611 SF
UPPER LEVEL	410 SF
TOTAL LIVING AREA (CONDITIONED)	3021 SF
GARAGE	893 SF
PORCHES/LOGGIA	639 SF
BALCONY	100 SF
TOTAL AREA (NOT CONDITIONED)	1632 SF
TOTAL UNDER ROOF	4653 SF

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JOB NO. 1651

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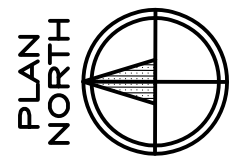
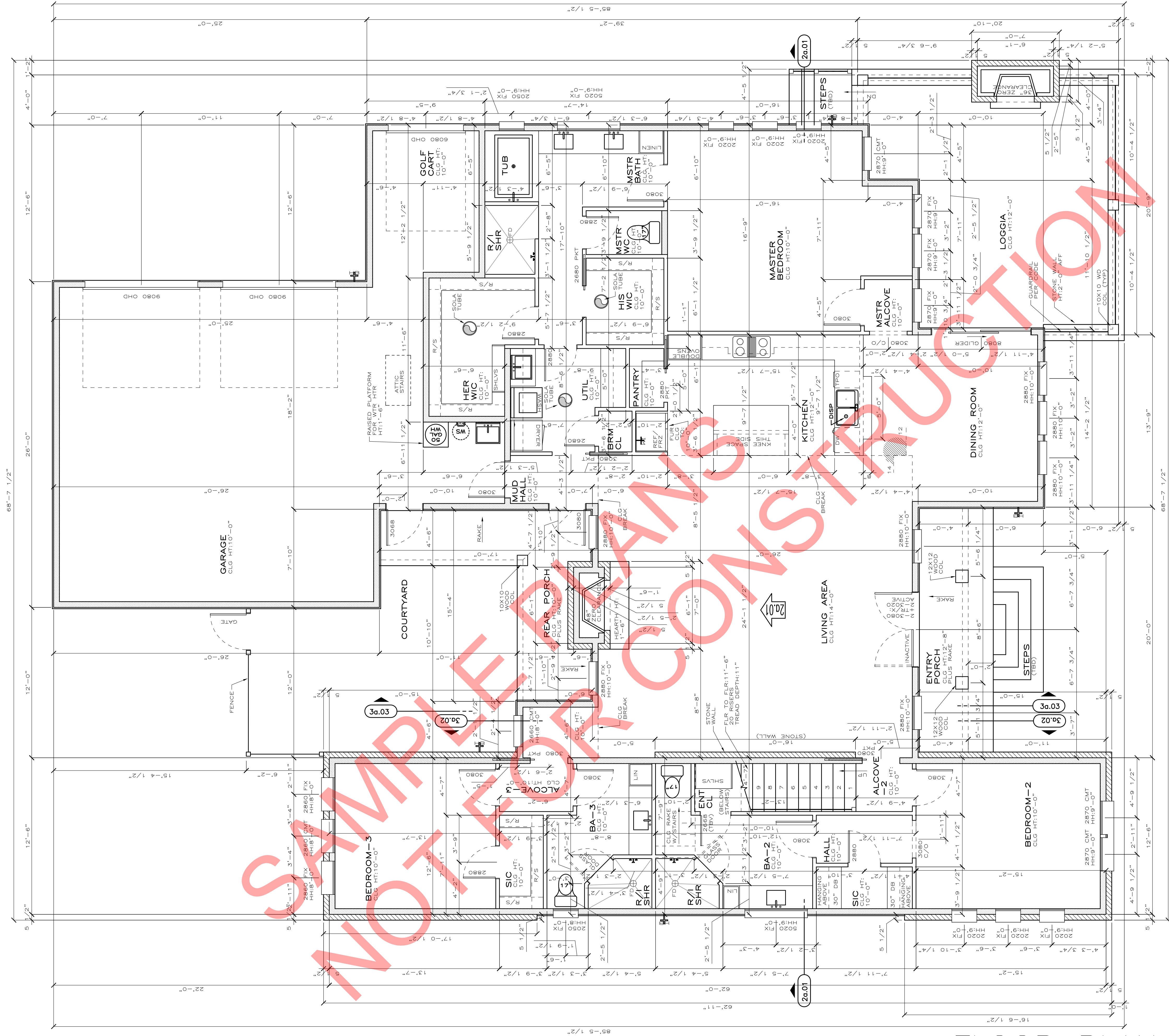
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2.01 FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA TOTALS	
ENTRY LEVEL	2611 SF
UPPER LEVEL	410 SF
TOTAL LIVING AREA (CONDITIONED)	3021 SF
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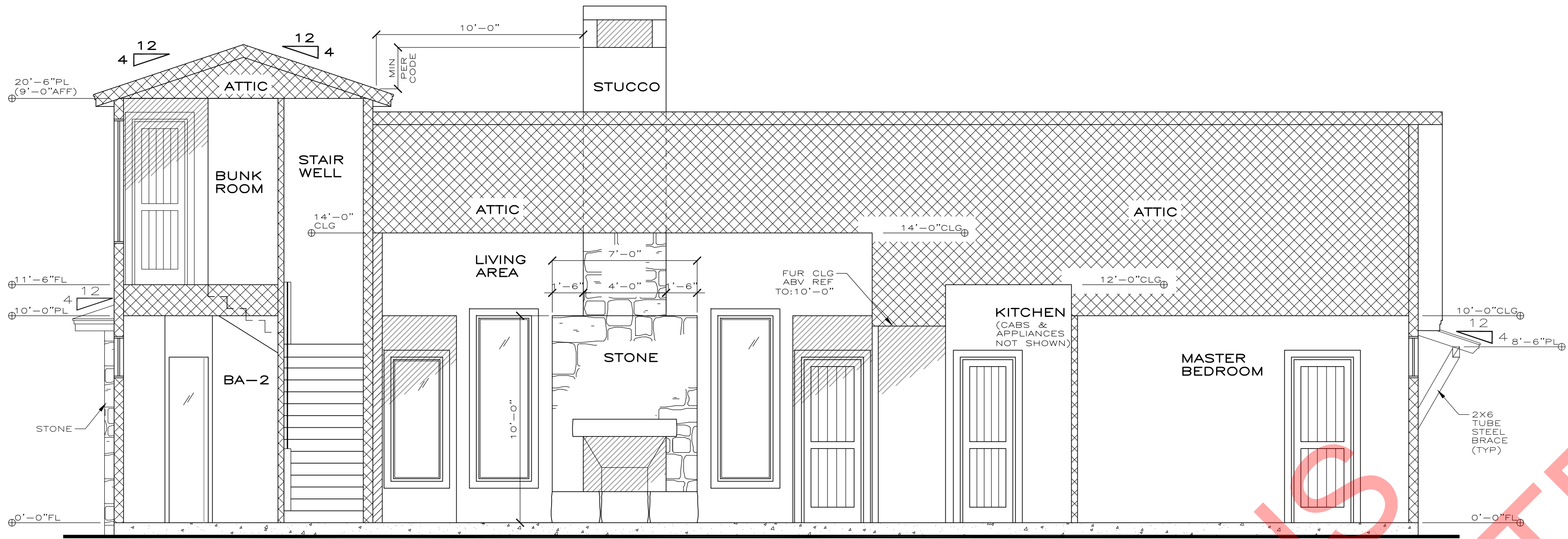
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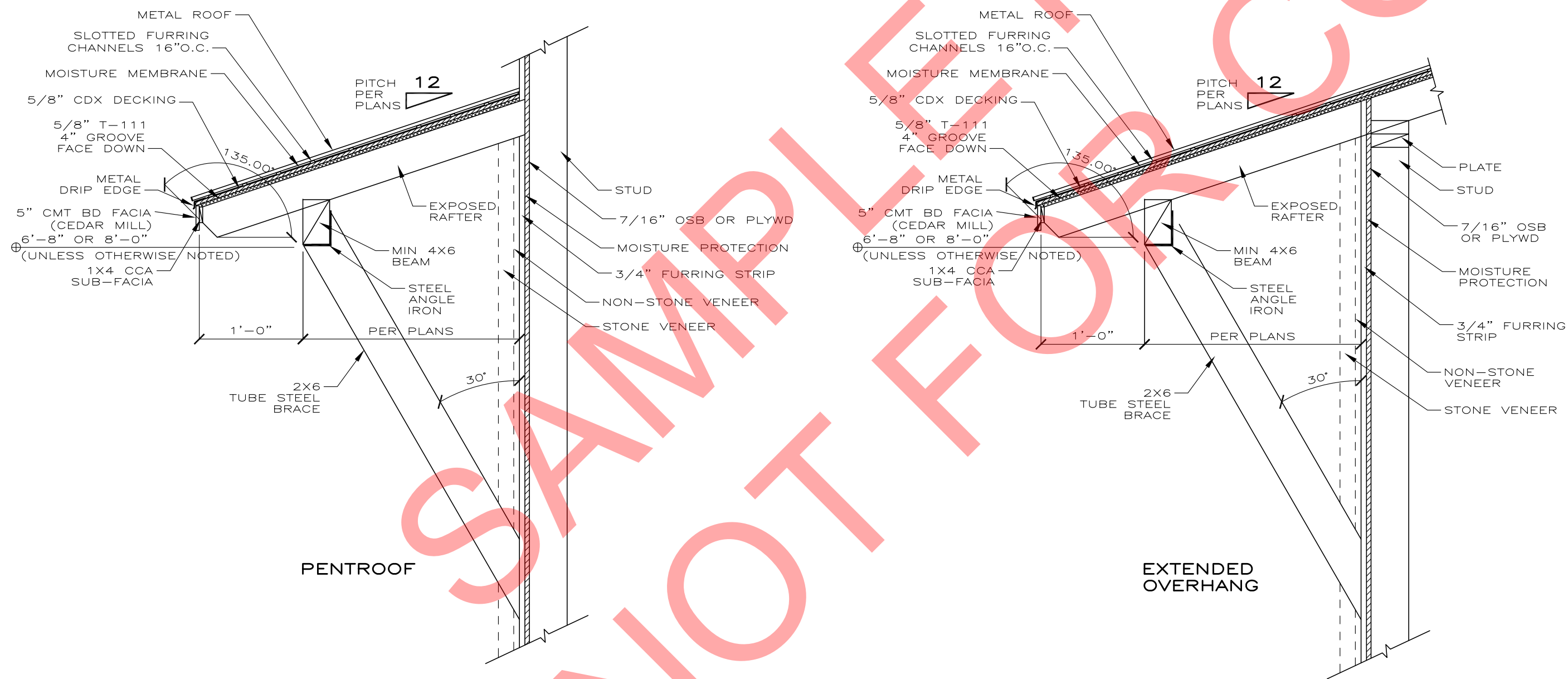
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2a.01 BLDG SECTION THRU STAIRS/FIREPLACE ELEVATION
SCALE: 1/4" = 1'-0"



2a.02 PENTROOF/STEEL BRACE DETAILS
SCALE: NTS" = 1'-0"

AREA TOTALS	
ENTRY LEVEL	2611 SF
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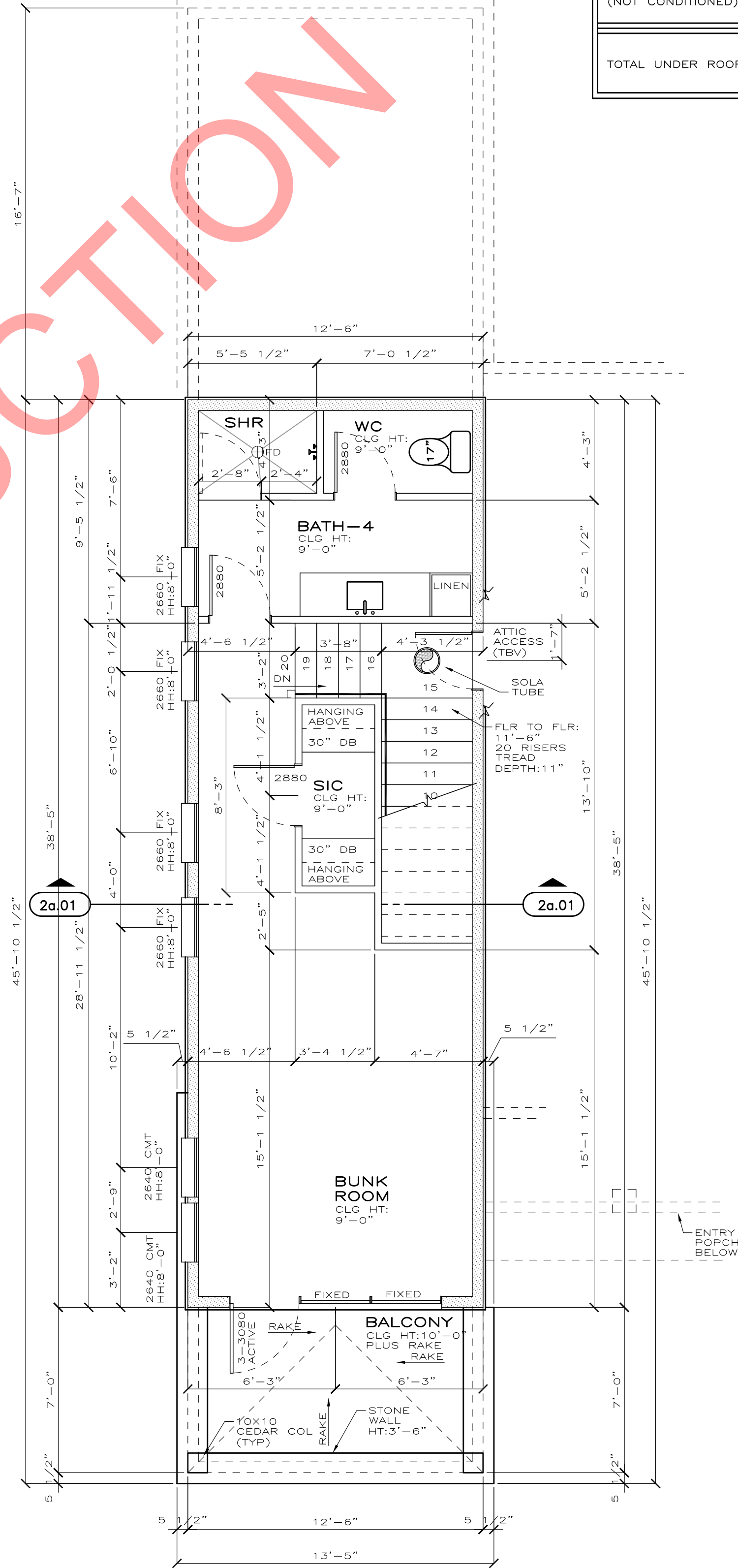
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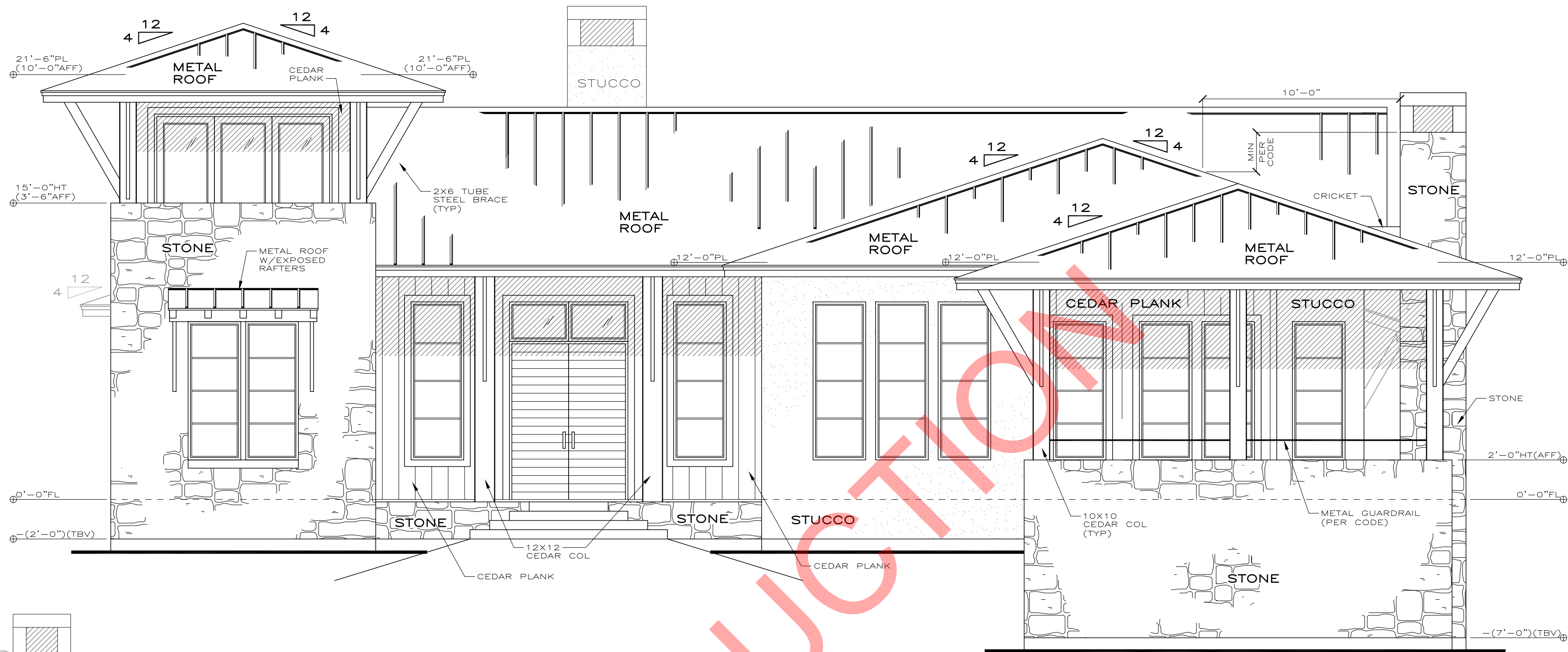
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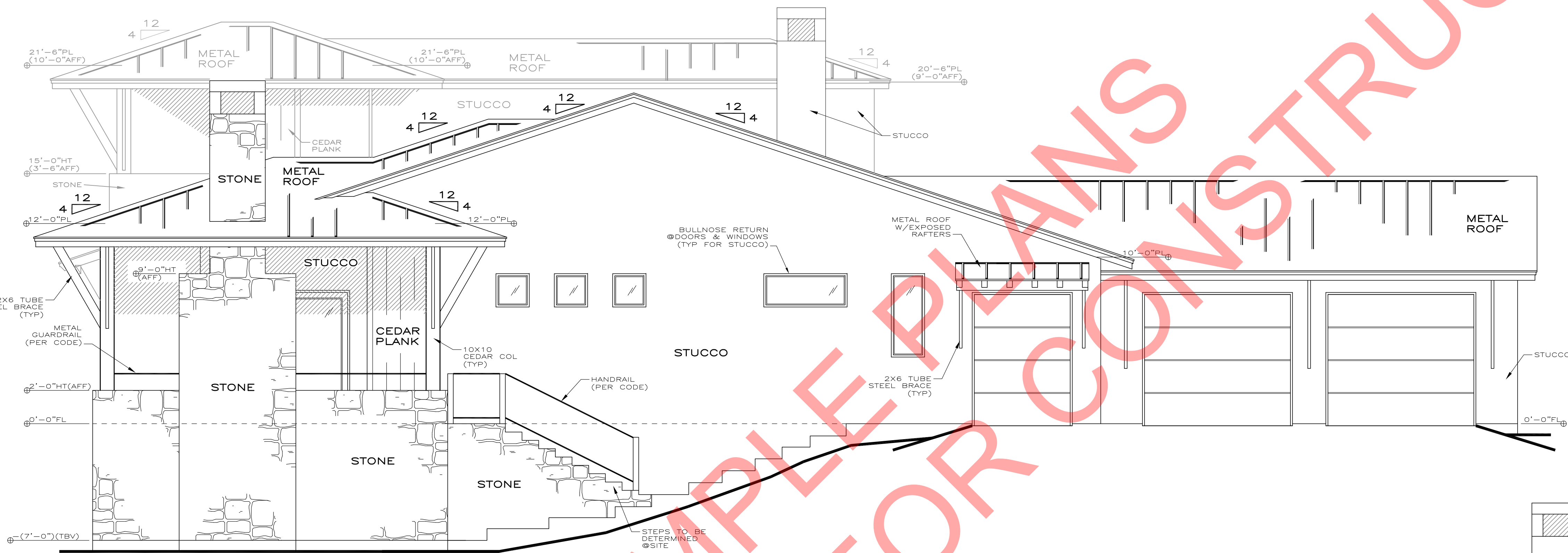
2a.03 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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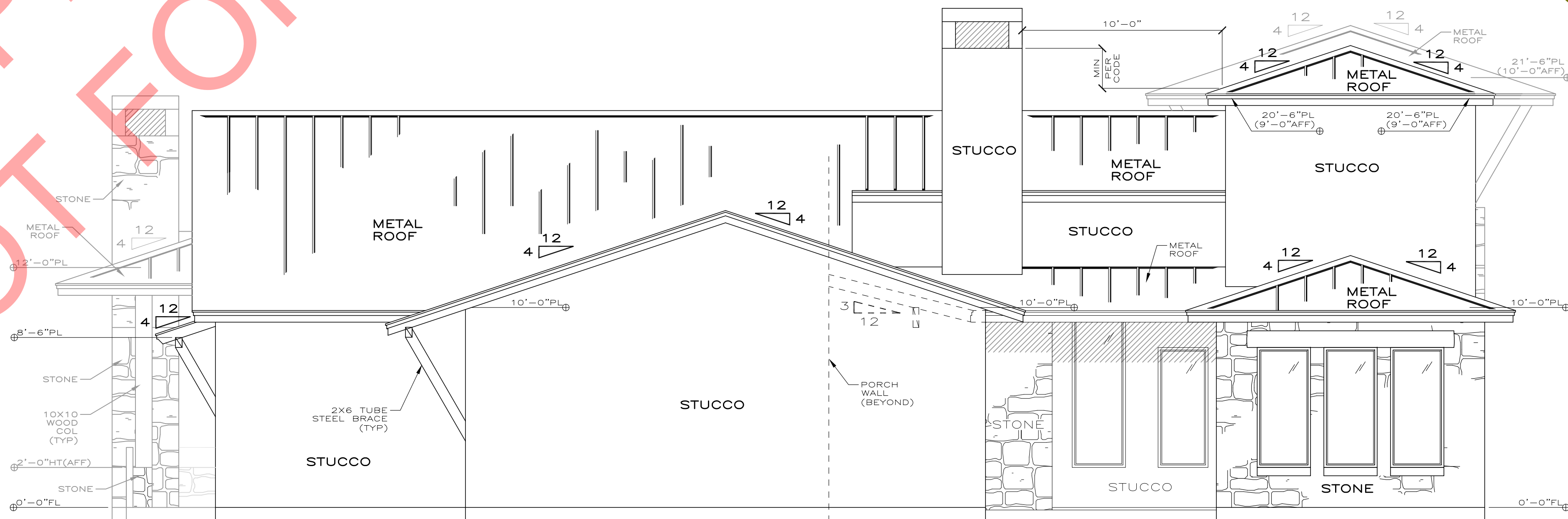
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3.01 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3.02 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3.03 REAR ELEVATION
SCALE: 1/4" = 1'-0"

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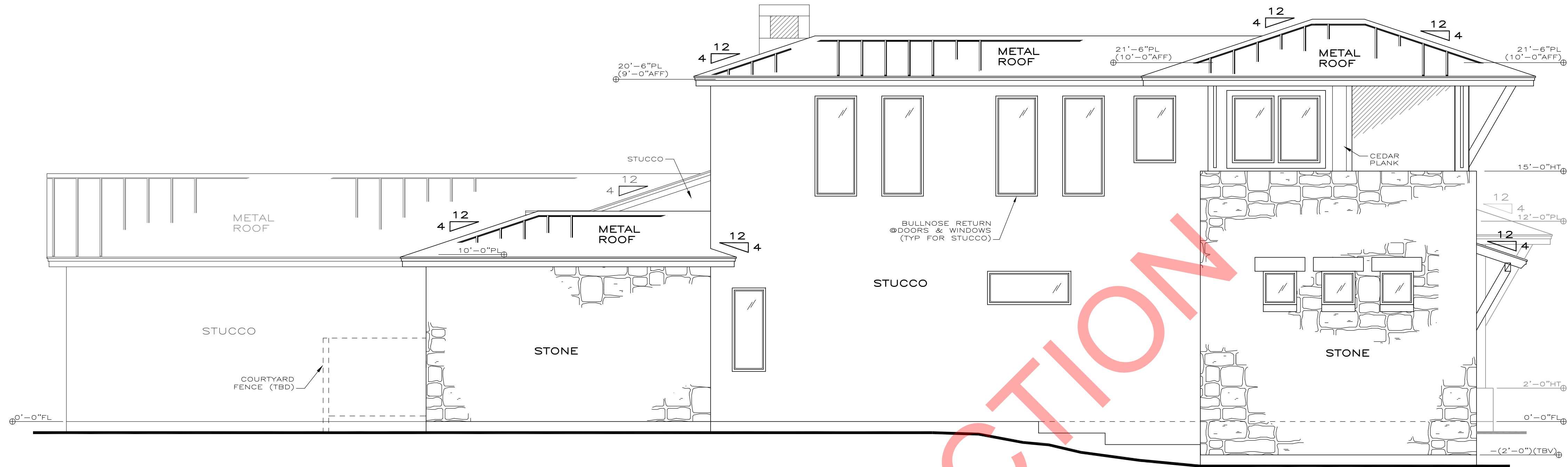
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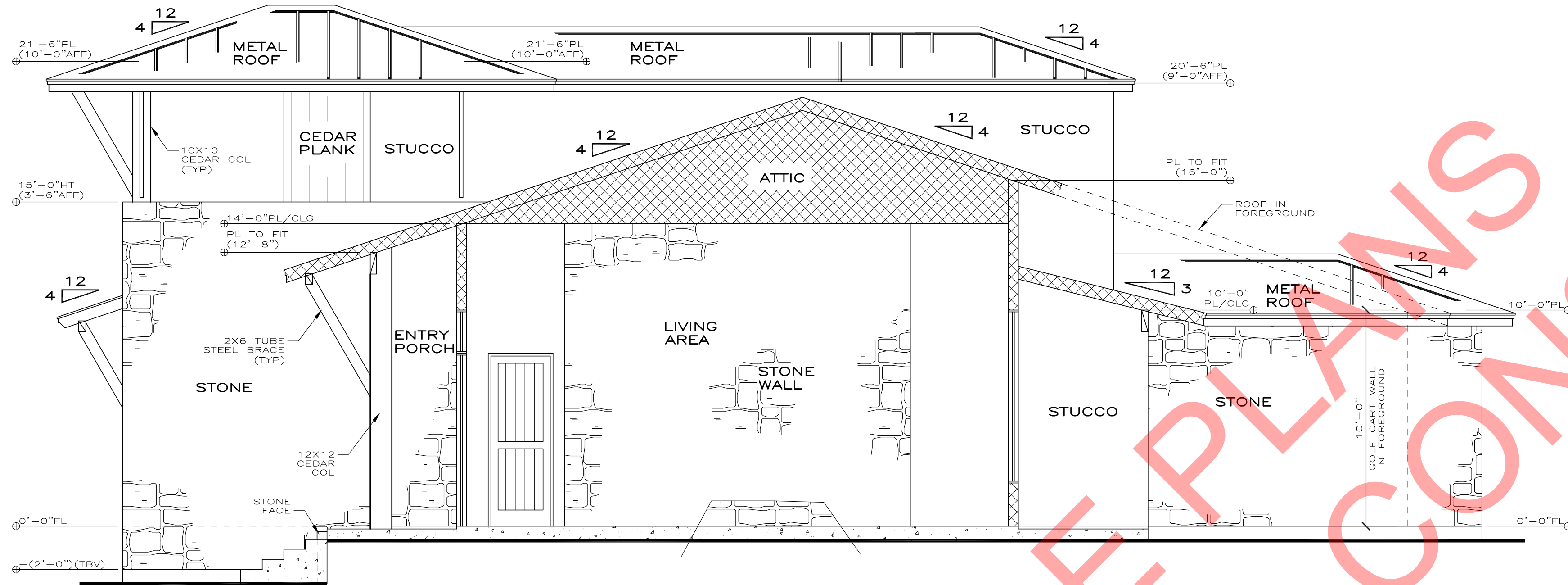
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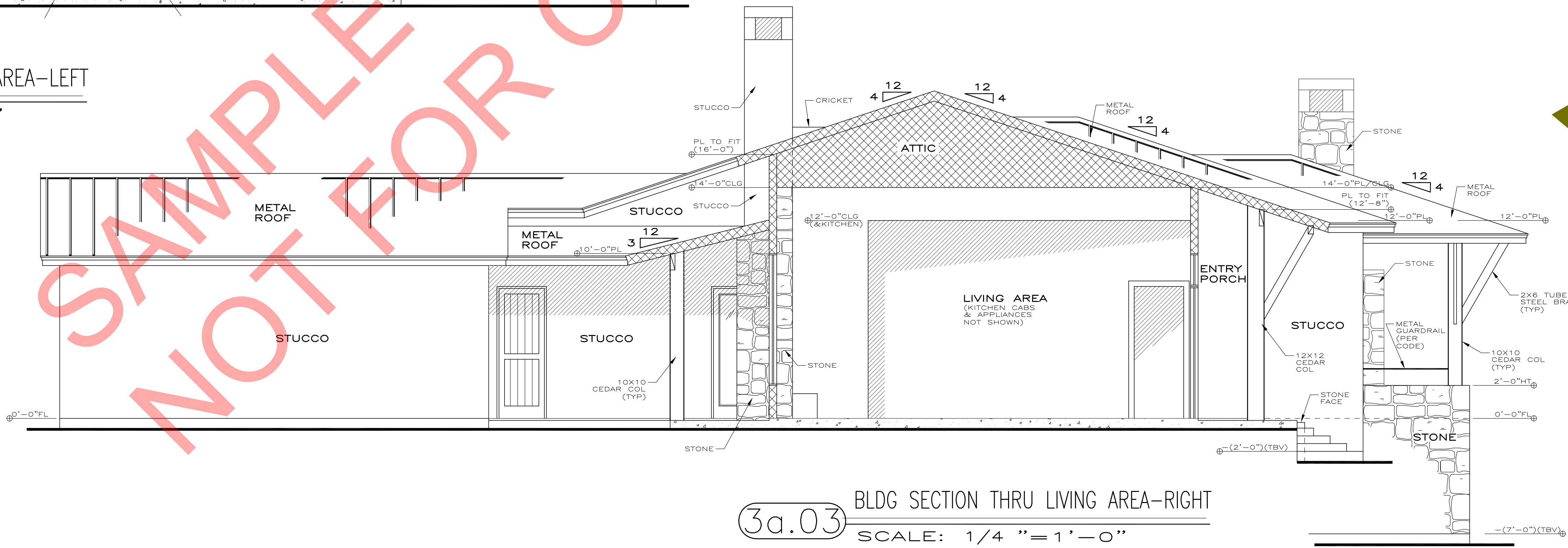
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3a.01 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

3a.02 BLDG SECTION THRU LIVING AREA-LEFT
SCALE: 1/4" = 1'-0"



3a.03 BLDG SECTION THRU LIVING AREA-RIGHT
SCALE: 1/4" = 1'-0"

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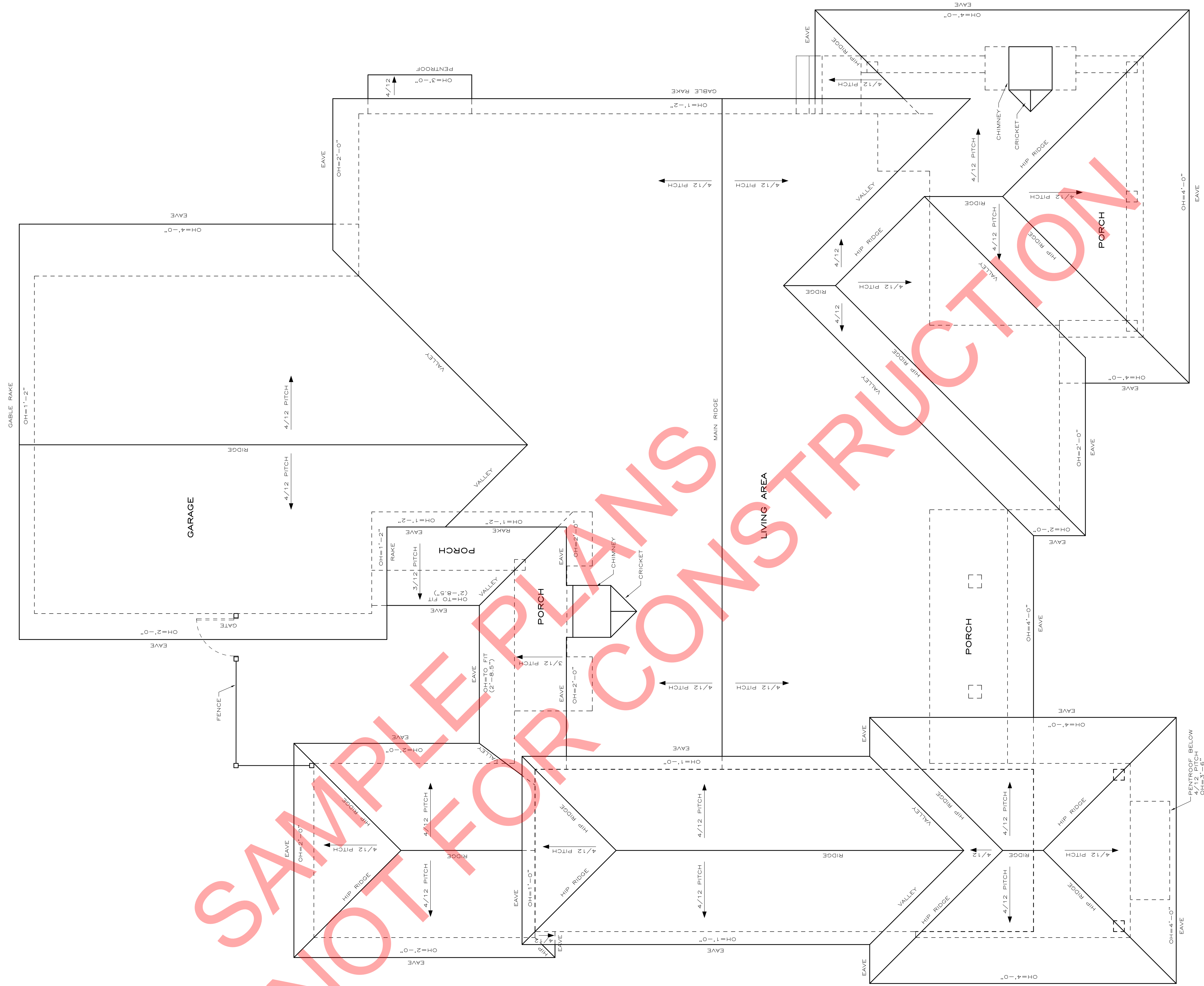
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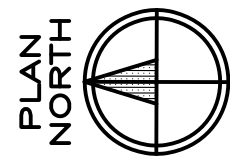
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NOTE:
THE ROOF OVERHANGS ARE MEASURED FROM THE
OUTSIDE OF THE STUD WALL TO THE END OF THE
RAFTER TAIL.
SUN TUNNELS (IF APPLICABLE) NOT SHOWN ON ROOF
PLAN.



4.01 ROOF PLAN
SCALE: 1/4" = 1'-0"

AREA TOTALS	
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GARAGE	893 SF
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NOTE:
TELEPHONE CONNECTIONS
LIMITED TO TV LOCATIONS.
(LANDLINE CONNECTIONS
TO BE VERIFIED
W/OWNER.)

SPECIAL ELECTRICAL/LIGHTING NOTES

CODE COMPLIANCE:
(1) ALL WORK SHALL COMPLY WITH LATEST NATIONAL ELECTRIC CODE (NEC).
(2) ALL WORK SHALL COMPLY WITH THE LATEST INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), AND IN PARTICULAR WITH THE FOLLOWING:
a. ALL RECESSED DOWN LIGHT FIXTURES AND THEIR INSTALLATION SHALL BE IN COMPLIANCE WITH THE LATEST IECC/IRC.
b. ALL POWER OUTLETS, SERVICE ENTRY, AND LIGHT BOXES LOCATED IN EXTERIOR WALLS SHALL BE SEALED.
c. HEIGHT OF CONTROLS & OPERATING MECHANISMS (INCLUDING SWITCHES & THERMOSTATS) = 48" ABOVE FINISHED FLOOR (CENTER), UNLESS OTHERWISE NOTED.
d. HEIGHT OF POWER, TELEPHONE, & CABLE TV OUTLETS = 17" ABOVE FINISH FLOOR (CENTER), UNLESS OTHERWISE NOTED.

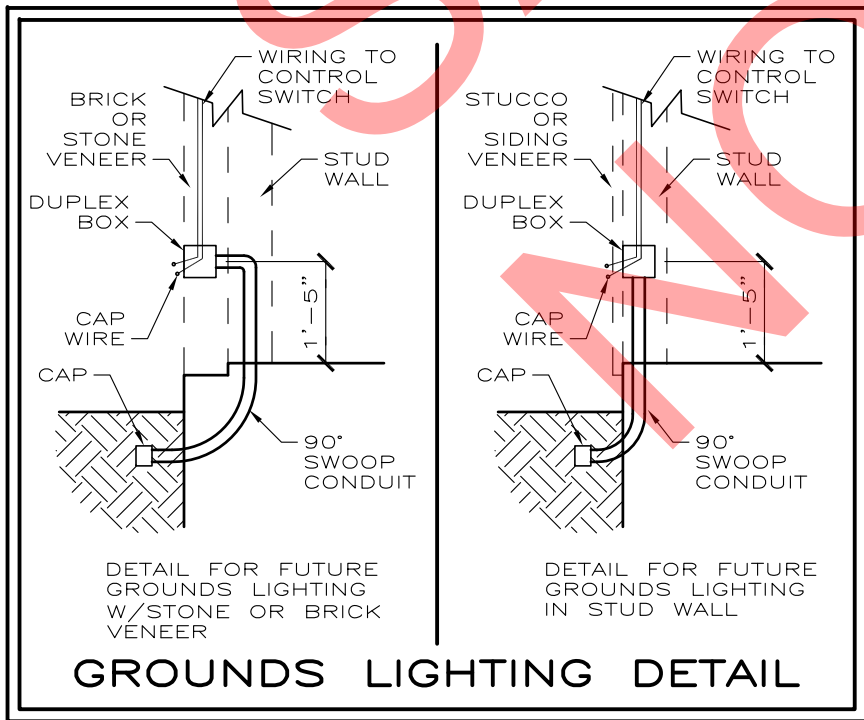
SMART HOUSE DESIGN:
DUE TO THE INCREASED DEMAND FOR "SMART HOUSE" CAPABILITIES (I.E. REMOTE CONTROL OF LIGHTING EQUIPMENT AND APPLIANCES, ETC.), IT IS IMPORTANT TO UTILIZE THE FEATURES OF A CENTRAL COMMUNICATION BOX (CCB) (OR "MULTI-LINK" BOX). ALL FEATURES SUCH AS AIR-CONDITIONING, WATER HEATER, CABLE TV, TELEPHONE, ETC., IF NOT WIRELESS, SHALL HAVE CONDUCTORS (HOME RUN) TO THE CCB. THE OWNER SHALL BE CONSULTED CONCERNING WHICH ITEMS TO BE LINKED. KEEP IN MIND THAT SOME ITEMS LIKE THE A/C SYSTEM WILL NOT REQUIRE SUCH WIRING IF IT IS EQUIPPED WITH A RADIAL THERMOSTAT. ALSO, ITEMS SUCH AS RADIAL LIGHTING MAY NOT NEED TO BE HARD WIRED TO THE CCB FOR "SMART" CAPABILITIES. CONSULT WITH THE OWNER CONCERNING WHAT ITEMS THEY WISH TO HAVE "SMART" CAPABLE AND AS TO HOW THOSE ITEMS SHALL BE INCORPORATED INTO THE "SMART" HOME SYSTEM. FURTHER, THERE SHALL BE 110 POWER ADJACENT TO THE CCB.

SPECIAL FIXTURE REQUIREMENTS:
WALL MOUNTED TELEVISIONS:
CONSULT OWNER AS TO THE LOCATION FOR ALL WALL MOUNTED TELEVISIONS. THERE SHALL BE A POWER OUTLET 17" AFF (MINIMUM) BELOW WHERE THE TV SHALL BE PLACED, EXCEPT WHEN ABOVE A FIREPLACE. CONSULT MEDIA TECHNICIAN FOR THE HEIGHT OF THE POWER OUTLET FOR THE TV.
MEDIA CENTER:
CONSULT OWNER TO VERIFY THE LOCATION OF THE MEDIA CENTER. THIS CENTER TYPICALLY, AT A MINIMUM, CONTAINS THE CCB, CABLE BOX, TELEPHONE, AND DOUBLE DUPLEX POWER SOURCE. IT MIGHT ALSO CONTAIN THE REMOTE LIGHTING CONTROL, AND OTHER EQUIPMENT CONDUCTORS THAT ARE TO BE A PART OF THE "SMART" SYSTEM. (SEE PARAGRAPH ABOVE)
WALL SCONCES (WALL LIGHTS):
UNLESS NOTED TO THE CONTRARY, IF THE WALL SCONCE IS NOT ABOVE A BASE CABINET AND PROTRUDES IN EXCESS OF 6", THEN THE FIXTURE SHALL BE ABOVE 6'-6" AFF. OTHERWISE IT SHALL BE 5' AFF OR MORE. CONSULT HOMEOWNER FOR SPECIFIC LOCATIONS AND HEIGHTS OF THE WALL LIGHT FIXTURE.
RECESSED DOWN LIGHTS:
RECESSED ROUGH-IN CANS FOR LIGHTING SHALL BE STANDARD 5" DIAMETER, UNLESS OTHERWISE NOTED.
THE FOLLOWING ITEMS, IF NOT PROVIDED BY THE ELECTRICAL CONTRACTOR AND REQUESTED BY THE OWNER SHALL BE COORDINATED BY THE ELECTRICAL CONTRACTOR:
SOUND SYSTEM
CABLE TV
SMOKE AND GAS DETECTION
SECURITY SYSTEM, IF ANY
GATE OPERATION SYSTEM, IF ANY
GATE COMMUNICATION SYSTEM, IF ANY

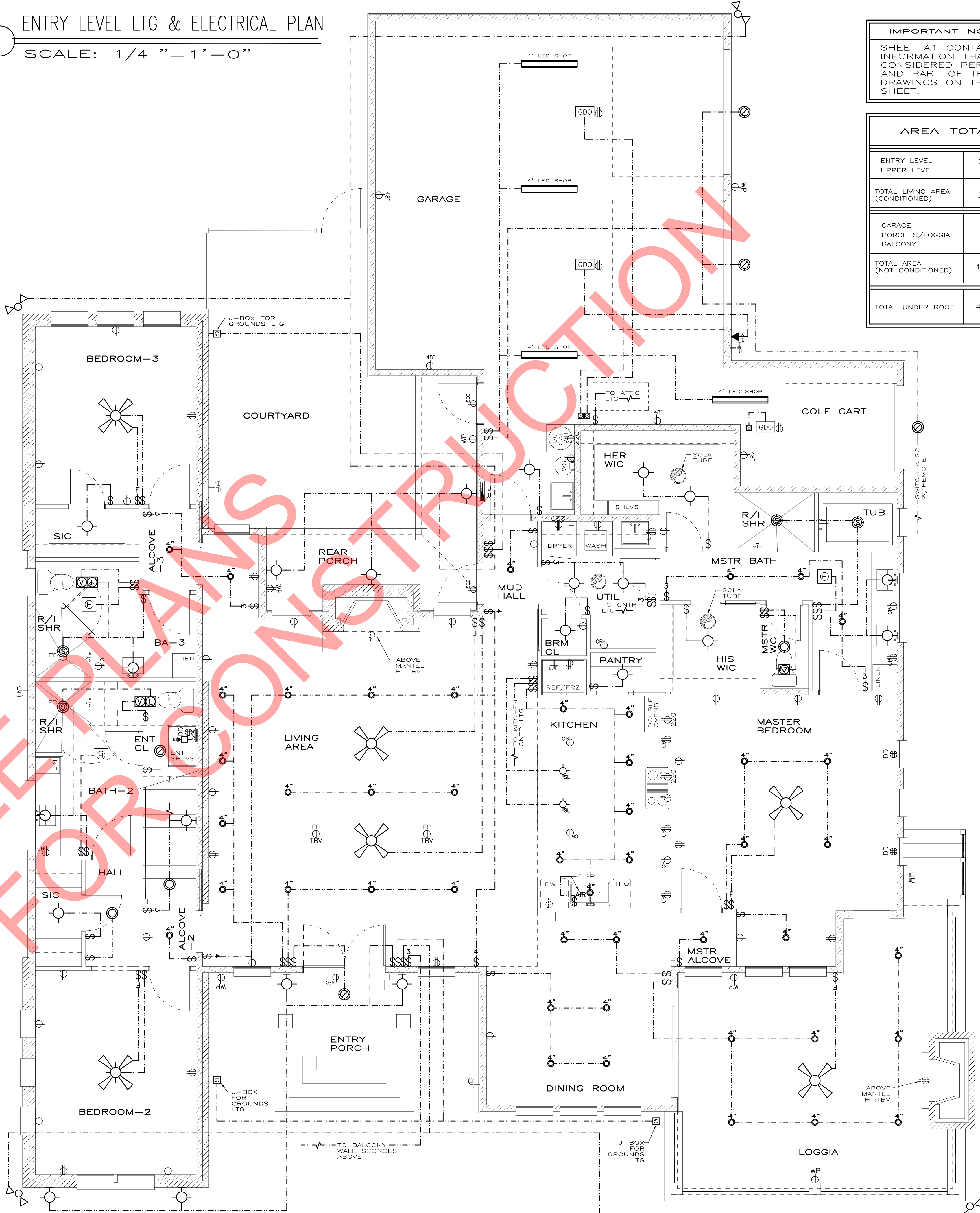
ELECTRIC SYMBOLS -- LEGEND

SWITCH	SURFACE MOUNT ART LIGHT
SWITCH W/DIMMER	SURFACE MOUNT CEILING LIGHT
MULTIPLE POLE SWITCH	SURFACE MOUNT MONO POINT
MULTIPLE POLE SWITCH W/DIMMER	WALL MOUNT MONO POINT
INFRARED SWITCH	SURFACE MOUNT CYLINDER LIGHT
SWITCH FOR FAN	WALL LIGHT
MULTIPLE POLE SWITCH FOR FAN	5" RECESSED DOWN LT (UNLESS OTHERWISE NOTED)
SWITCH HEIGHT=36" AFF	4" RECESSED DOWN LIGHT
AIR SWITCH IN COUNTERTOP	VAULTED RECESSED DOWN LIGHT
FLOOR PLUG	4" VAULTED RECESSED DOWN LIGHT
LOCATION TO BE VERIFIED	DIRECTIONAL (EYEBALL) LIGHT
FLOOR PLUG DOUBLE DUPLEX	4" DIRECTIONAL (EYEBALL) LIGHT
LOCATION TO BE VERIFIED	LOW VOLTAGE RECESSED LIGHT
220 VOLT FLOOR PLUG	LOW VOLTAGE DIRECTIONAL LIGHT
DUPLEX OUTLET	SHOWER LIGHT
DUPLEX OUTLET HEIGHT=48" AFF	TRACT LIGHTING
DUPLEX OUTLET HEIGHT=54" AFF	DECK LIGHT OR STEP LIGHT
DOUBLE DUPLEX OUTLET	SUSPENDED PENDANT LIGHT
COUNTER PLUG DUPLEX OUTLET	SUSPENDED UP LIGHT
OUTLET STRIP BELOW CAB	SUSPENDED CYLINDER LIGHT
POP UP OUTLET IN COUNTERTOP	SECURITY (FLOOD) LIGHT
220 VOLT OUTLET	UP LIGHT (RECESS IN FLOOR OR GROUND)
WEATHER PLUG DUPLEX	FLOOD WALL WASH LIGHT (DOWN)
PICTURE PLUG HEIGHT=60" AFF	FLOOD WALL WASH LIGHT (UP)
DEDICATED CIRCUIT OUTLET	LED TAPE LIGHT
DEDICATED TOP OUTLET (OR SWITCH TOP OUTLET)	3200 LUMENS 4' LED SHOP
TELEPHONE	CEILING FAN
DEDICATED DATA LINE (DSL, INTERNET, OR FAX)	CEILING FAN W/LIGHT
ETHERNET CONNECTION	CEILING FAN W/UP LIGHT
TELEVISION CABLE OUTLET W/TELEPHONE-COMBO	4 BULB 2X4 FLOURESCENT
TELEVISION CABLE OUTLET W/TELEPHONE & ETHERNET COMBO	2-4 FLOOR
WALL MOUNTED TELEVISION W/UNKNOWN HEIGHT	2-U BULBS 2X2 FLOURESCENT
POWER FOR SECURITY CAMERA ABV DOOR	HEAT & LIGHT
DOOR BELL (CHIMES LOCATION IN CLG TBV)	HEAT & VENT FAN
GARAGE DOOR OPENER	HEAT, VENT FAN, & LIGHT
GARAGE DOOR OPENER BUTTON	CEILING HEATER
GARAGE DOOR OPENER KEYPAD	VENT FAN
JUNCTION BOX FOR GROUNDS LIGHTING	SOLATUBE W/LIGHT
PANEL BOX	SMOKE DETECTOR
CENTRAL COMMUNICATIONS BOX (MULTI-LINK SYSTEM) W/COAX CABLE-TV, TELEPHONE, & POWER	
SPEAKER LOCATION	
SERVICE ENTRY & METER	

MAY THIS HOUSE BE BUILT FOR THE GLORY OF GOD.



5.02 ENTRY LEVEL LTG & ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



IMPORTANT NOTICE!
SHEET A1 CONTAINS INFORMATION THAT IS CONSIDERED PERTINENT AND PART OF THE DRAWINGS ON THIS SHEET.

AREA TOTALS	
ENTRY LEVEL	2611 SF
UPPER LEVEL	410 SF
TOTAL LIVING AREA (CONDITIONED)	3021 SF
GARAGE/PORCHES/LOGGIA/BALCONY	893 SF 639 SF 100 SF
TOTAL AREA (NOT CONDITIONED)	1632 SF
TOTAL UNDER ROOF	4653 SF

REVISIONS

the SAMPLE home
LOT, PHASE, SUBDIVISION
COUNTY, CITY, STATE

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EXCEPTIONAL HOME DESIGNS
BY MICKEY THOMPSON

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815 JEFFERSON ST. SUITE 150
KERRVILLE, TEXAS 78028 . 830-257-2311

FOUNDATION ENGINEERING INSTRUCTIONS

PLEASE BE ADVISED THAT OUR CLIENT HAS PROVIDED **TEXAS HOME PLANS** WITH CERTAIN SPECIFIC INFORMATION CONCERNING THE DESIGN OF THEIR FOUNDATION. TO THE BEST OF OUR UNDERSTANDING, THIS CRITERIA HAS BEEN SET FORTH IN THIS DRAWING. WE (THIS FIRM AND OUR CLIENT) EXPECT THAT SAID DETAILS BE INCORPORATED INTO THE FOUNDATION DESIGN. ANY STRUCTURAL CHANGES, ADDITIONS, OR DELETIONS, WE EXPECT THE ENGINEERING FIRM TO SEEK FINAL APPROVAL OF SAID DETAILS FROM THE CLIENT PRIOR TO THE PUBLISHING OF THE FOUNDATION DESIGN.

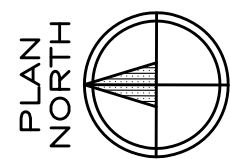
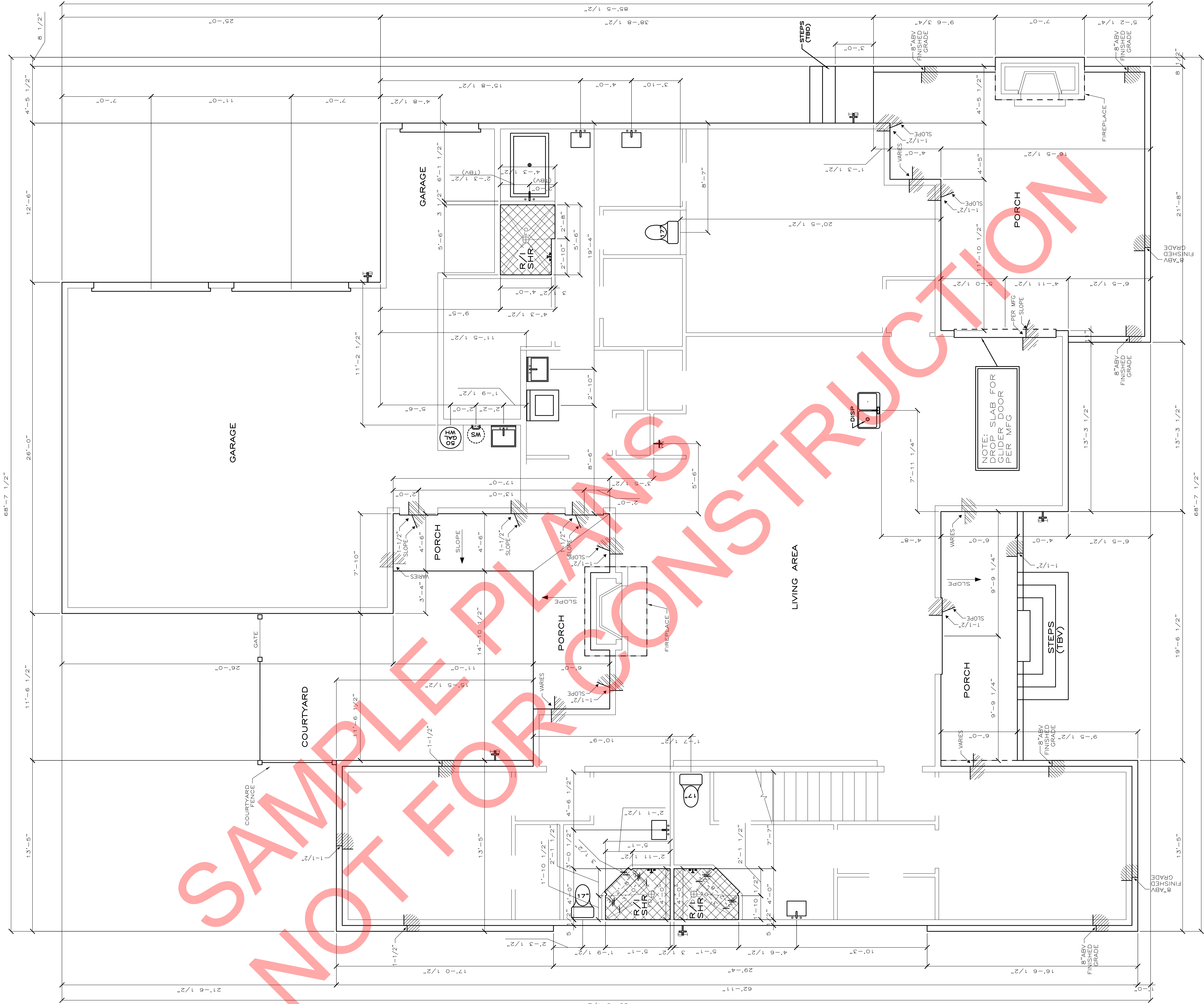
IF THE ENGINEER FEELS THE NEED TO MODIFY OUR DETAILS, WE EXPECT SAID FIRM TO NOTIFY **TEXAS HOME PLANS** OF THE NEED TO DO SO.

UNDER NO CIRCUMSTANCES SHALL THIS DRAWING BE USED TO CONSTRUCT THE FOUNDATION OR PLUMBING SUB-STRUCTURE. ITS PURPOSE IS ONLY AS A CHECK AGAINST THE FLOOR PLAN AND TO ASSIST THE **ENGINEER AND PLUMBING CONTRACTOR** IN DESIGNING AND IMPLEMENTING THE FOUNDATION PLAN. IN ANY EVENT, THE FLOOR PLAN SHALL TAKE PRECEDENCE. ALL DIMENSIONS ARE TO BE CHECKED AGAINST THE FLOOR PLAN.

SPECIAL NOTE

PLEASE NOTE: SEE LIGHTING & ELECTRICAL PLAN FOR LOCATION OF FLOOR PLUGS.

IMPORTANT NOTICE!
SHEET A1 CONTAINS INFORMATION THAT IS CONSIDERED PERTINENT AND PART OF THE DRAWINGS ON THIS SHEET.



6.01

FOUNDATION FOOTPRINT & PLUMBING LAYOUT

SCALE: 1/4" = 1'-0"

AREA TOTALS	
ENTRY LEVEL	2611 SF
UPPER LEVEL	410 SF
TOTAL LIVING AREA (CONDITIONED)	3021 SF
GARAGE	893 SF
PORCHES/LOGGIA	639 SF
BALCONY	100 SF
TOTAL AREA (NOT CONDITIONED)	1632 SF
TOTAL UNDER ROOF	4653 SF

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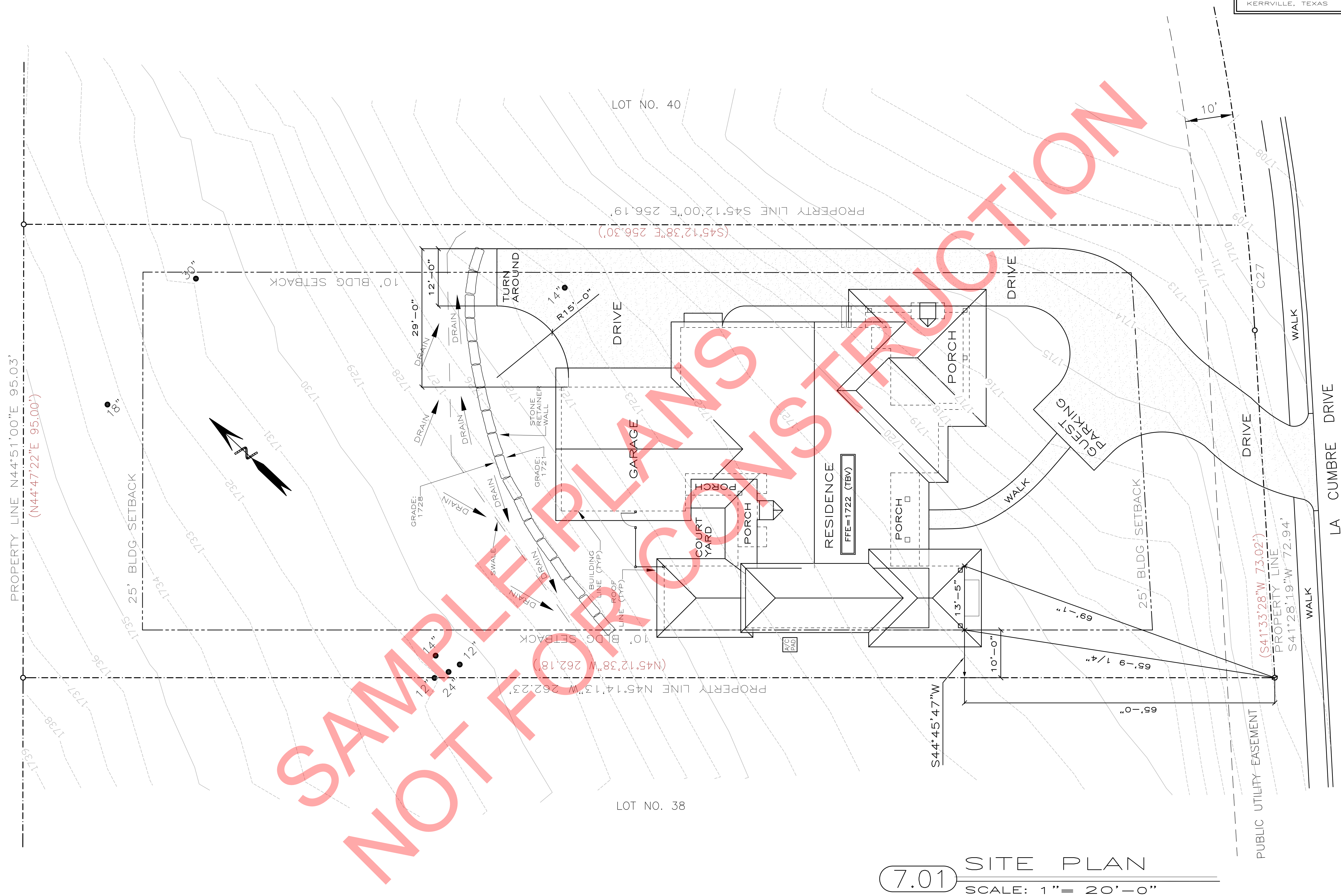
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LOT, PHASE, SUBDIVISION
COUNTY, CITY, STATE

REVISIONS
1



7.01 SITE PLAN
SCALE: 1" = 20'-0"

LEGAL DESCRIPTION:
LOT, PHASE SUBDIVISION KERR COUNTY, TEXAS
MUNICIPAL ADDRESS:
STREET ADDRESS KERRVILLE, TEXAS

[illegible]

the SAMPLE home
LOT, PHASE, SUBDIVISION
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